

III. LAND USE REGULATIONS

PURPOSE

The purpose of these regulations is to provide a mechanism for implementing the Rancho La Sierra Specific Plan. Proper administration of the standards set forth in this chapter will ensure that future land use activities proceed in a coordinated manner consistent with the goals and policies of both this Plan and the City's General Plan. Application of these standards in the future review of site plans, subdivision maps, conditional use permits and other discretionary approvals by the City of Riverside will ensure that the Plan objectives are realized.

APPLICABILITY

The land use regulations set forth in this Plan shall apply only to the property within the boundaries of the Plan area. All proposed uses of land within the Plan area shall be subject to these standards. Any references to lands outside of the Plan area are expressions of the planning objectives established for this Plan and are not regulatory in nature.

The City of Riverside Zoning Code (Title 19 of the Riverside Municipal Code) and Subdivision Ordinance (Title 18 of the Riverside Municipal Code) shall apply to all land within the Plan area, except where differing standards are specified herein. Where conflicts between this Plan and the City's Zoning Code and/or Subdivision Ordinance occur, the provisions of this Plan shall apply. Where the Plan does not address specific development standards or other land use provisions, the City's Zoning Code and/or Subdivision Ordinance shall apply. Development within the Plan area shall comply with any future amendments to the Zoning Code or Subdivision Ordinance, to the extent they do not conflict with the provisions of the Plan.

GENERAL PROVISIONS

- ! Terms used herein shall have the same meaning as defined in Title 19 of the Riverside Municipal Code unless otherwise specified. Whenever there is any question regarding the interpretation of the provisions of this Plan or their application to any specific case or situation, the Planning Commission shall interpret the intent of this Plan as it applies to such cases.
- ! Minor adjustments in the boundaries between adjoining land use districts which result from final road alignments, geotechnical or other engineering refinements during the processing of conditional use permits or tentative and/or final subdivision maps shall not require an amendment of the Specific Plan, provided that such adjustments are consistent with the intent of the Plan and the general distribution of land uses illustrated in Figure 3. The Planning Director shall be responsible for determining if such adjustments are in substantial conformance with the Plan.

- ! Final boundaries are intentionally not precisely dimensioned on the Plan but shall be established through future discretionary permit processing at separate public hearings.

DEVELOPMENT STANDARDS AND DESIGN GUIDELINES

Permitted uses, site development standards and design guidelines for each of the main components of the land use plan are defined below.

Golf Course

Championship level golf courses will be developed in accordance with the following requirements.

Permitted Uses (Subject to granting of a conditional use permit, in accordance with Section 19.64 of the Riverside Municipal Code)

- a. A maximum of 45 holes of golf, consisting of two 18-hole courses and a 9-hole course.
- b. Clubhouse facility and adjacent parking area. Activities shall be restricted to those that directly support or are directly related to the operations of the golf course, such as a pro shop, food and beverage services, golf equipment rentals, and banquet facilities. Facilities unrelated to golf such as a swimming pool and tennis courts are prohibited. Non-golf-related banquets and events are prohibited.
- c. Driving range. Lighting of the range is prohibited.
- d. Storage facilities for maintenance equipment, supplies and vehicles.
- e. Recreational trails.

Development Standards

Specifications for fairway orientation and design, irrigation and drainage systems, fencing, clubhouse design, required parking, and other development standards will be determined through the conditional use permit (CUP) process. However, the golf course(s) shall reflect the design guidelines and operational requirements established below.

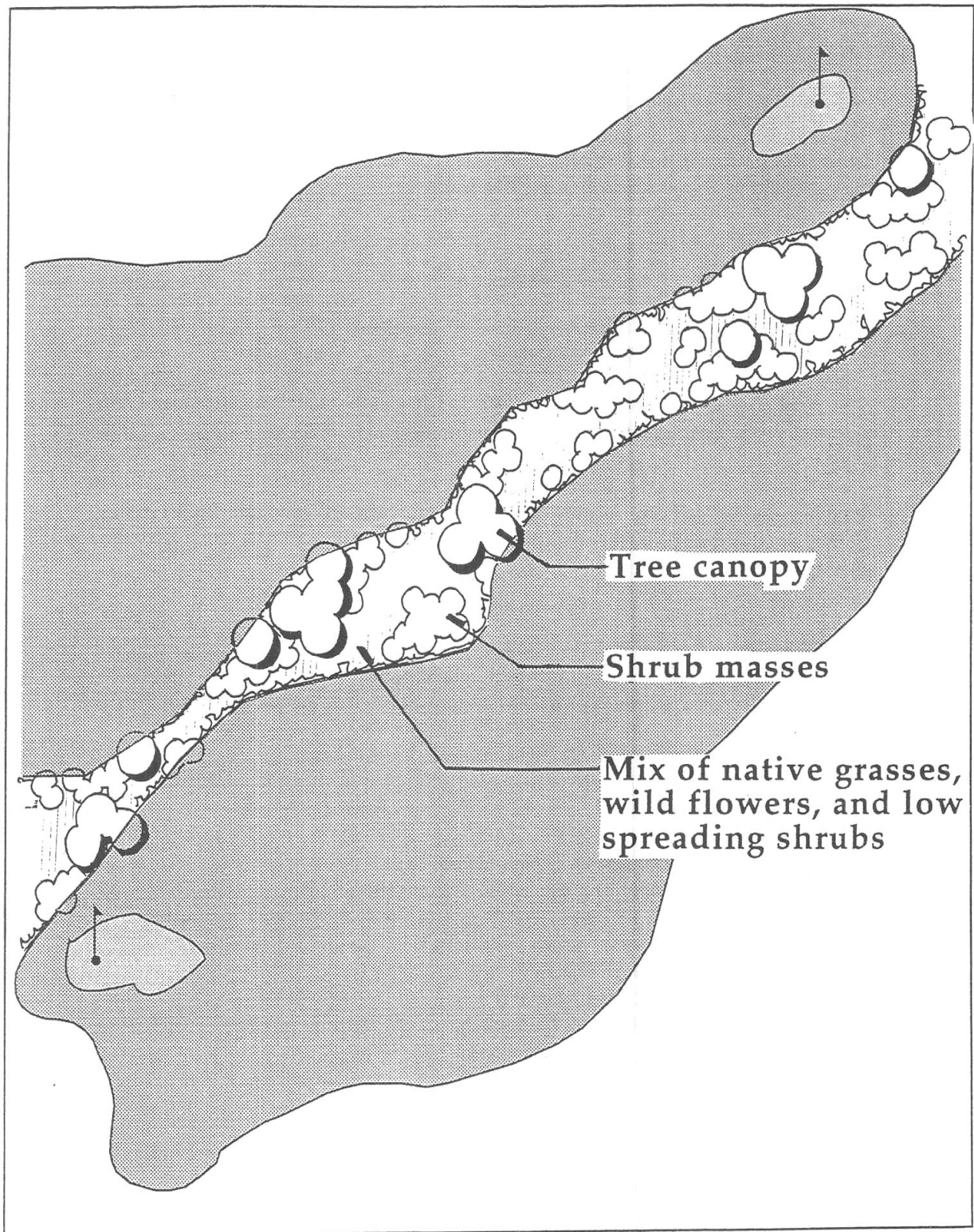
Design Guidelines

- a. The golf course shall minimize turfed areas and grading and emphasize retention of natural topographic features.
- b. Developed golf areas (tees/greens/manicured fairways) within the 400 foot river

bluff setback as required in the Concept Plan Selection environmental impact report shall be limited to the maximum extent feasible. The bluff setback area should be integrated into the golf course design as natural fairway area. Where developed golf areas encroach into the required setback, other means to reduce impacts on the river such as berming and landscaped screening shall be utilized.

- c. The design shall include a fairway routing in the area between the westerly knoll and Arlington Avenue, to provide golf course visibility from Arlington Avenue.
- d. A minimum of 65.5 acres of constructed wetlands, lakes, and/or enhanced arroyos shall be incorporated into the golf course(s).
- e. The driving range shall be designed without lighting and in such a way as to minimize the need for fencing, thereby reducing visual impacts.
- f. The club house shall be centrally located within the golf course area and accessible from the public collector street. It shall incorporate energy conservation design features, such as north-south orientation to maximize solar exposure for solar water heating panels and the use of appropriate landscape materials to provide shading of exterior and interior spaces.
- g. Exterior lighting for the golf clubhouse and parking lot shall be of low intensity, providing only the minimal illumination needed for safety and security. All light fixtures shall be directed, shielded or located to confine illumination to the clubhouse and parking area.
- h. A planting and landscape plan to enhance the biological habitat and wildlife corridor values of the golf course shall be prepared by a qualified biologist acceptable to the City. Open spaces between and around fairways shall incorporate a planting palette that include native plant species to provide habitat for local wildlife. A suggested planting scheme is illustrated in Figure 7. Recommended plant species include the following:

- Barberry (*Mahonia* spp.)
- Black sage (*Salvia mellifera*)
- Brittlebush (*Encelia farinosa*)
- Buckbrush (*Ceanothus* spp. and cultivars)
- Bush poppy (*Dendromecon rigida*)
- Bush sunflower (*Encelia californica*)
- California buckwheat (*Eriogonum fasciculatum*)
- California fuschia (*Zauschneria* spp.)
- California juniper (*Juniperus californica*)
- California walnut (*Juglans californica*)
- Catalina ironwood (*Lyonothamnus floribundus*)
- Coast live oak (*Quercus agrifolia*)



RECOMMENDED LANDSCAPING BETWEEN FAIRWAYS

NOT TO SCALE

FIGURE
7

Coyote brush (*Baccharis pilularis*)
 Flannel bush (*Fremontodendron* spp.)
 Holly-leaved cherry (*Prunus ilicifolia*)
 Manzanita (*Arctostaphylos* spp. and cultivars)
 Prickly phlox (*Leptodactylon californicum*)
 Scrub oak (*Quercus dumosa*)
 Silktassel (*Garrya* spp.)
 Tanbark oak (*Lithocarpus densiflorus*)
 Tea tree (*Leptospermum* spp.)
 Toyon (*Heteromeles arbutifolia*)
 Valley oak (*Quercus lobata*)
 Western redbud (*Cercis occidentalis*)

The understory may be complemented by a native wildflower collection or mulched.

- I. A master drainage plan shall be developed and incorporated into the golf course plan. This plan shall emphasize the on-site detention and treatment of golf course runoff to filter and reduce the concentrations of fertilizers, pesticides, herbicides and fungicides, prior to discharge to the Santa Ana River. Water hazard features, for example, should be designed with this in mind.
- j. An Integrated Management Plan (IMP) that combines turf management with pest and pollution management efforts in a comprehensive and coordinated manner shall be developed. The IMP shall be prepared in consultation with a Licensed Pest Control Advisor with expertise on the development of insect, rodent and invasive plant resistance techniques that minimize the need for chemically applied pesticides, herbicides, fertilizers and fungicides. The purpose of the IMP is to avoid the use of hazardous substances for golf course landscape management and to minimize the amount of pollutants in surface runoff that could reach the sensitive Santa Ana River basin or be ingested by local wildlife. The IMP shall incorporate the following:
 - ! An evaluation of soils and existing plant cover to determine the types and extent of invasive plant species that would compete with turf or other managed landscaped areas, and an identification of means of eradicating these species from the soil base before revegetation occurs.
 - ! Use of biological means to eliminate pests, such as parasitic wasps to attack white flies, natural bacteria that kills caterpillars, etc.
 - ! Use of plant species that are resistant to pests of various types.
 - ! A regular maintenance program that keeps vegetation healthy and thus resistant to disease and infestation.
 - ! Establishment of a controlled drainage pattern to avoid standing water that attracts mosquitoes.
 - ! Use of chemical agents only as a last resort for pest management purposes. Chemicals shall be applied in a carefully controlled manner that is based on the proper types and concentrations for specifically targeted pests.
 - ! Avoidance of excessive use of phosphorus and nitrogen-based products.

- ! Prohibition of the use of toxic or flammable materials for turf management or other landscape management purposes.
- ! Prohibition of aerial spraying of pesticides, fertilizers, herbicides or fungicides.
- k. Shape the golf course landform along the northern boundary to prevent runoff from the golf course area from flowing directly to the Hidden Valley Wildlife Refuge.
- l. Prohibit the use of clippings of bermuda grass or other highly aggressive species in mulch and dispose of such wastes in closed containers or in compost bins to avoid scatter into the river or other natural plant communities.
- m. Divert green wastes generated by course maintenance from the landfill waste stream, to the maximum extent feasible.
- n. A cowbird trapping program shall be developed by a qualified biologist, including means for ongoing implementation.
- o. Portions of the community trail system may cross through the golf course; however the trails should be aligned between and around fairways, with no direct fairway crossings. Incorporate design methods/protective barriers for any public trails potentially subject to direct exposure from golf course operations.
- p. An analysis of potential alternative water supply sources, such as reclaimed water from the City's Water Quality Control Plant and local wells, shall be provided for review by the City's Public Utilities Department.
- q. Signage shall be consistent with the approved community sign program (See page III-38).
- r. Architectural coatings used on the clubhouse shall comply with the most current standards of the South Coast Air Quality Management District.
- s. A trails program shall be developed, potentially including interim trails, to the standards of the Park and Recreation and Planning Departments to ensure that adequate trail access is maintained between the neighborhoods to the south and the Santa Ana River to the north. The required trails shall be constructed in conjunction with construction of the golf course.

Residential Estate

Clusters of single family residential development will be sited primarily along the golf course and at the base of hills, to provide view orientations toward the golf course and the Santa Ana River basin. While the locations of these clusters are considered relatively "fixed" on the site, as shown on Figure 3, the precise boundaries and sizes of each will be determined as part of the master subdivision process (see Chapter V, Implementation Measures) and some minor modifications may occur as a result. Estate homes of exceptional design quality are envisioned within distinctive individual neighborhood enclaves. Specific residential areas as shown on Figure 3 (generally located southerly of the spine east/west private street) can accommodate horsekeeping. Lot sizes will vary, depending upon topographical conditions, with larger lots on the steeper land, generally those areas with slopes 15 percent or greater, and smaller lots clustered on the gently sloping areas. The average lot size shall be no less than one acre. Equestrian lots shall be a minimum of .75 acres in size, and one-half acre lots are permitted at selected locations.

Permitted Uses

All those uses permitted in the RA-5 Zone, listed in Section 19.08.020 of the Riverside Municipal Code, except that the keeping of livestock shall be prohibited. Horsekeeping is permitted at selected locations as shown on Figure 3, generally located southerly of the spine east/west private street.

Development Standards

Lot Area:	Minimum 1 acre/43,560 square feet (Minimum ½ acre/21,780 square foot lots permitted at selected locations subject to Planning Department review and approval). Lots proposed for horsekeeping shall be a minimum of .75 acres/32,670 square feet in size.
Lot Width:	Minimum 130 feet
Lot Depth:	Minimum 100 feet
Front Yard Setback:	Minimum 30 feet
Side Yard Setback:	Minimum 25 feet
Rear Yard Setback:	Minimum 25 feet (deeper yards are encouraged wherever lots back up to the public collector street)
Building Height:	One story/max. 20 feet. Additional height/stories may be authorized through the variance process as discussed below. Factors to be considered in the granting of variances include the protection of northern views of existing residences, and the avoidance of residential development that skylines above the natural ridgelines.
Lot Coverage:	Maximum 30 percent by buildings and other covered structures.
Parking:	Each dwelling unit shall be provided with minimum of two parking spaces within a private garage on the same lot, in accordance with the provisions of Section 19.74 of the Riverside Municipal Code.
Walls and Fences:	Heights limited pursuant to Title 19 of the Riverside Municipal Code.

Signs: Per the approved community sign program (see page III-38).
Other: As defined in Title 19 of the Riverside Municipal Code.

Variances

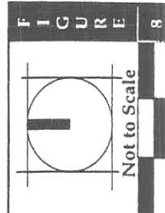
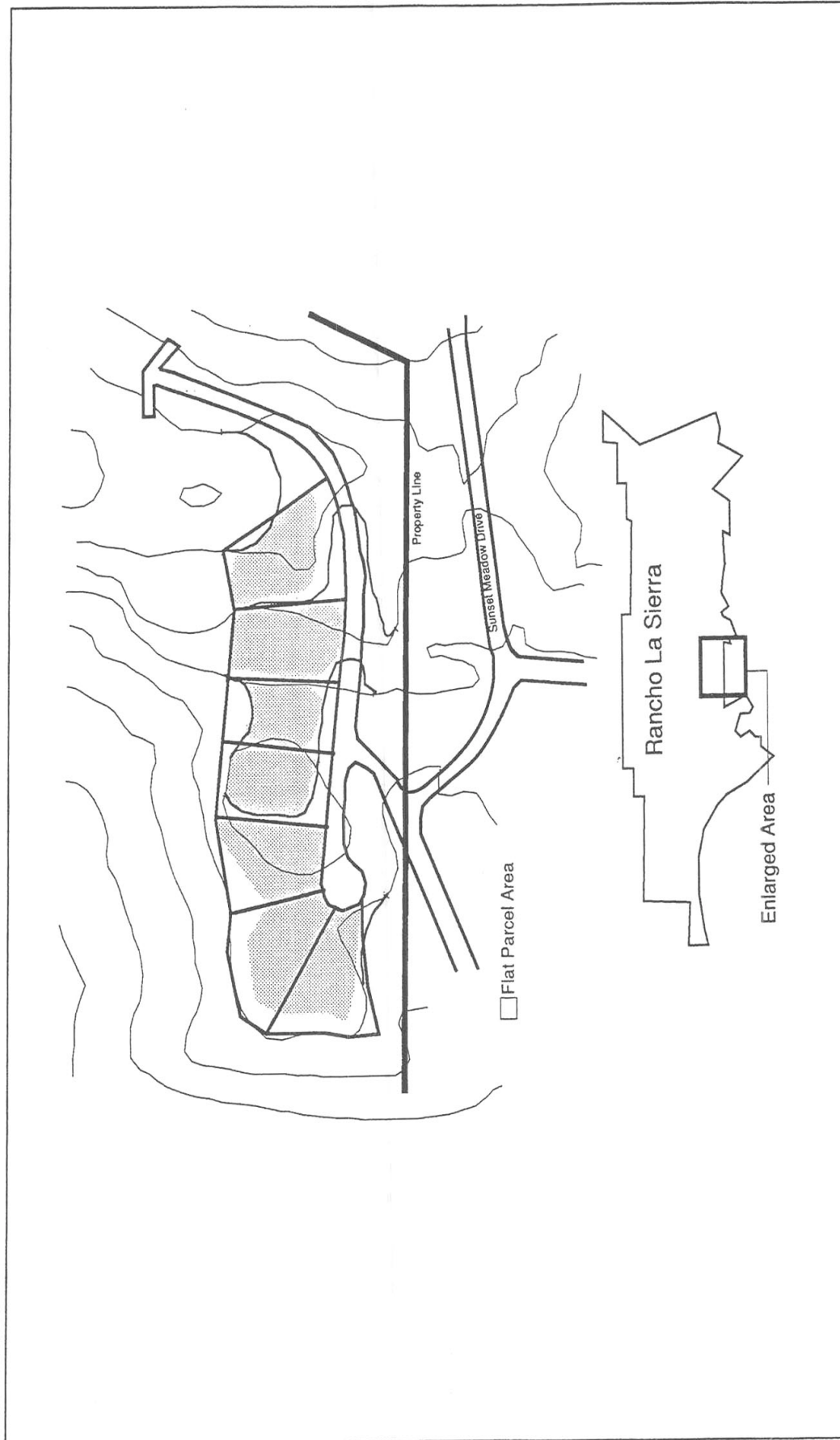
Variances from the above development standards (excluding lot area) may be considered pursuant to Chapter 19.64.050 of the Riverside Municipal Code.

Design Review

All residential development shall be subject to review by and approval of Planning Department Design Review staff.

Design Guidelines

- a. Homes should be sited near the base of slopes and knolls, on terrain with slopes of less than ten percent (10%) wherever possible. Skylining or knolltop development is prohibited on the major knolls located in western, central and eastern portions of the site. In the subdivision process, consideration shall be given to establishing maximum building pad elevations in the vicinity of the major knolls to ensure that skylining does not occur.
- b. Residential development in the vicinity of the central knoll shall be configured as conceptually shown on Figure 8.
- c. Avoid "walling in" golf fairways with homes on both sides.
- d. Limit access to the site from the neighborhoods to the south to emergency vehicles unless otherwise necessary.
- e. Provide a private street system to serve residential clusters. No homes shall have direct access from Arlington Avenue or Tyler Street. Limited direct access from the project's public collector street may be permitted, subject to Planning Department review and approval.
- f. Homes shall be located no less than 44 feet from the centerline of the nearest travel lane of Tyler Street and no less than 90 feet from the centerline of the nearest travel lane of Arlington Avenue.
- g. Residential developers shall consider the use of light-colored roofing materials and concrete as opposed to dark roofing materials and asphalt parking areas, to minimize heat gains in buildings and parking areas.
- h. Lot patterns should be developed with consideration for maximizing solar access to rooftop or ground mounted solar water heating panels that may be installed by homeowners.



CENTRAL KNOLL DESIGN DETAIL

- I. Use of decorative, open fencing such as wrought iron is recommended along residential sites bordering golf course fairways.
- j. Where solid walls are constructed along residential boundaries, use a variety of materials, textures and colors and screen the walls with appropriate landscaping.
- k. Solid, decorative walls with landscape screening shall be provided along the rear lot line of residential lots that back up to or side on a public street.
- l. Consider potentially adverse off-site impacts in the consideration of the placement and design of walls and fences, to avoid such problems as blocking a neighbors view, cutting off desired local breezes, creating unwanted shade, or detracting from the appearance of a neighboring home or yard.
- m. Architectural coatings used on homes and accessory structures shall comply with the most current standards of the South Coast Air Quality Management District.

Grading Standards

The following standards apply to residential subdivisions as well as the design of individual residential lots.

Lot Grading

Where grading is required on parcels having an average natural slope of 10% or greater, it must be limited to the minimum necessary to provide for a house, driveway, garage and limited level yard for accessory and recreational uses such as swimming pools, tennis courts, or play areas. The terrain must be left in its natural state for the remainder of the site. Average natural slope shall be determined in accordance with the formula set forth in Section 19.09.050 B(3) of the Riverside Municipal Code. The total area of all grading shall not exceed the following standards:

- a. Grading on slopes under 10%:
 - ! No standards
- b. Grading on slopes between 10% and 30%:
 - ! Total level padded area shall not exceed 18,000 square feet except up to 21,000 square feet may be permitted for split level pads separated by a minimum four foot elevation difference (Level padded area is defined at a slope ratio of 5:1 or flatter).
 - ! Slopes having a ratio of 3.9: 1 or steeper shall not exceed 20 feet in vertical height. Slopes having a 4:1 or flatter ratio may be allowed up to 25 feet in vertical height.
 - ! Benches on slopes shall not be permitted.

- ! Crib walls shall not be permitted.
- ! An undulating berm shall be placed along the edge of graded pads to reduce the visual impacts of terrace grading. The undulating berm is not included within the total level padded area.

c. Grading on slopes of 30% or steeper:

- ! Up to three level padded areas shall be permitted totaling 21,000 square feet; provided, however, that no single pad can exceed 10,000 square feet in area and multiple pads shall be separated by a minimum four-foot elevation difference.
- ! Slopes having a ratio of 3.9:1 or steeper shall not exceed 20 feet in vertical height. Slopes having a 4:1 or flatter ratio may be allowed up to 25 feet in vertical height.
- ! Benches on slopes shall not be permitted.
- ! Crib walls shall not be permitted.
- ! An undulating berm shall be placed along the edge of graded pads to reduce the visual impacts of terrace grading. The undulating berm is not included within the total level padded area.

Driveway Grading

- a. Shall not exceed 15 feet in width, except on lots with less than 10 percent average natural slope.
- b. Shall not exceed a 15% finished grade unless approved by the City of Riverside Fire Department.
- c. Driveway cut and fill slope heights shall be subject to the same restrictions identified above for slopes of 10 to 30 percent or slopes of 30 percent or greater.

Retaining Walls

Retaining walls shall be limited to a maximum vertical height of four feet.

Deviations

Deviations from the above grading standards may be permitted on a case-by-case basis for innovative design and unique grading techniques, pursuant to established City review procedures.

Grading Review

Residential grading shall be subject to review pursuant to established City review procedures.

Hillside Residential

A cluster of single family homes will be sited in the rolling topography just southeast of the Arlington Avenue main entrance. Homes will be located north of the knolltop near Arlington Avenue, to maintain a natural hillside appearance along Arlington. These homes will have northern view orientations toward the golf course, the Santa Ana River and San Gabriel Mountains. Access will be provided via a private street connection to the main project entry street, with no separate connection to Arlington Avenue. Several additional residential lots will be located along Rolling Hills Drive and the west side of Western Avenue, near Country Bluffs Road. These lots will be compatible with existing developed residential lots in the immediate vicinity.

The overall density shall average one dwelling unit per two acres. Consideration may be given to the granting of a maximum 25 percent density bonus in accordance with the criteria set forth in Section 19.65 of the Riverside Municipal Code (Planned Residential Development).

Permitted Uses

All uses permitted in the RC Zone, listed in Section 19.09.020 of the Riverside Municipal Code.

Development Standards

The development standards for the RC Zone as set forth in Section 19.09 of the Riverside Municipal Code shall apply.

Variances

Variances from the above development standards (excluding lot area) may be considered pursuant to Chapter 19.64.050 of the Riverside Municipal Code.

Design Review

All residential development shall be subject to review by and approval of Planning Department Design Review staff.

Design Guidelines

- a. Homes should be sited near the base of slopes and knolls, on terrain with slopes of less than ten percent (10%) wherever possible. Skylining or knolltop development is prohibited.
- b. Maintain an open space view corridor along Arlington Avenue.
- c. Homes shall be located no less than 90 feet from the centerline of the nearest travel lane of Arlington Avenue.

- d. Infill residential development along Western Avenue and Rolling Hills Drive is permitted and shall be consistent with the existing residential neighborhood.
- e. Limited direct access to residences from the main public collector street is permitted.
- f. Fencing proposed along the Arlington Avenue frontage should be open to allow for views into the open space corridor, subject to Design Review staff approval.
- g. Residential developers shall consider the use of light-colored roofing materials and concrete as opposed to dark roofing materials and asphalt parking areas, to minimize heat gains in buildings and parking areas.
- h. Lot patterns should be developed with consideration for maximizing solar access to rooftop or ground mounted solar water heating panels that may be installed by homeowners.
- I. Where solid walls are constructed along residential boundaries, use a variety of materials, textures and colors and screen the walls with appropriate landscaping.
- j. Architectural coatings used on homes and accessory buildings shall comply with the most current standards of the South Coast Air Quality Management District.

Grading Standards

Grading shall comply with the standards defined above in this Plan for the Residential Estate category, including the deviation and grading review processes.

Natural Open Space

Approximately 170.5 acres of land on site are designated as open space. These areas occur between and around the residential clusters and include the major knolls, natural drainages, steeper slopes and principal wildlife corridor found on the site. Precise boundaries for the open space system will be determined as part of the master subdivision process (see Chapter V, Implementation Measures). Natural open space provided for under the Plan shall be privately owned and maintained in perpetuity, through a homeowners association or other means acceptable to the City of Riverside.

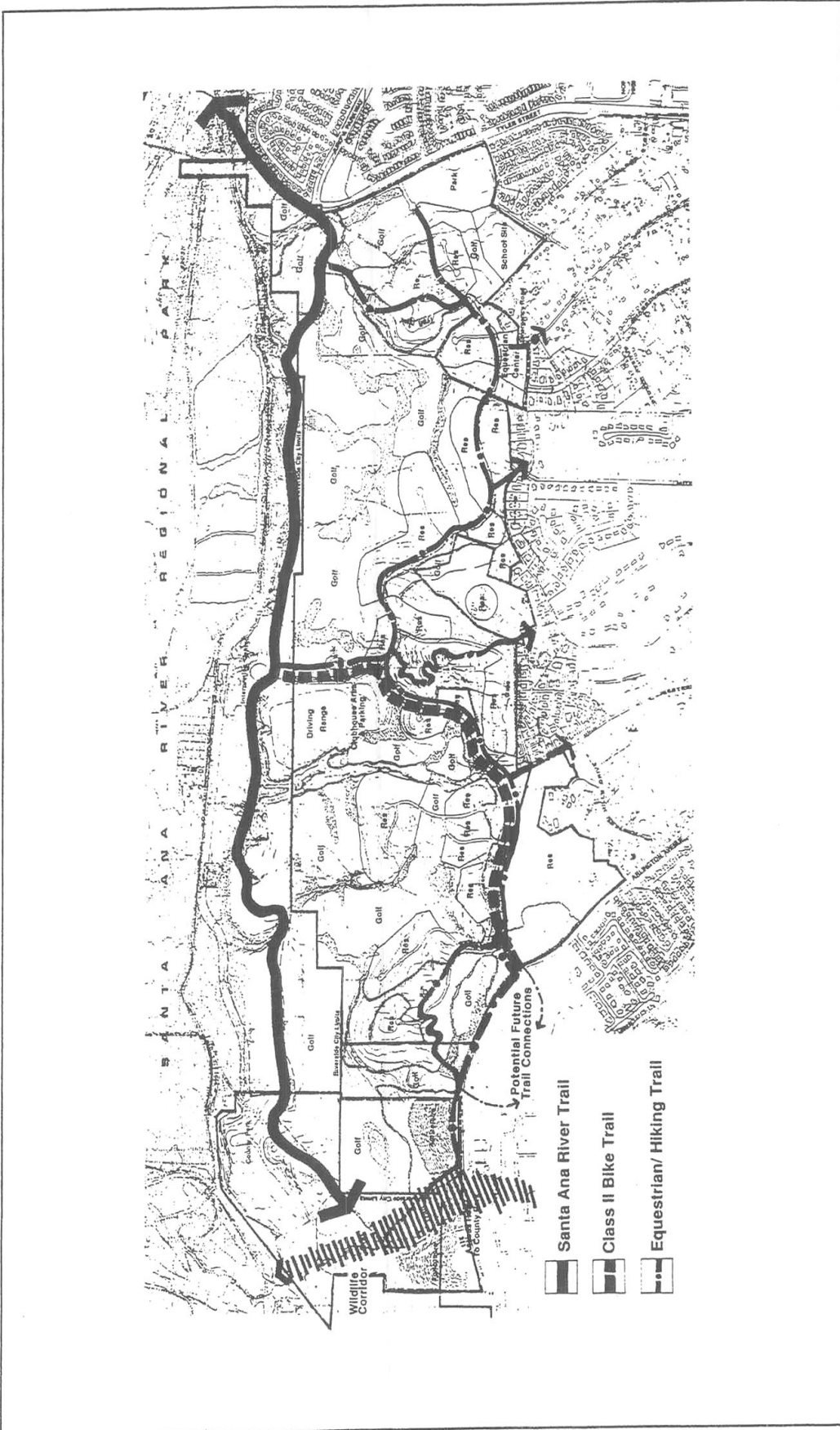
The community trail network will be developed within the open space system to the maximum extent feasible; no other activities will be permitted, except for passive recreation such as walking and enjoyment of scenic views. The conceptual trail network is illustrated on Figure 9. Public trails will be dedicated to the City of Riverside and constructed by the developer(s). Funding of trail maintenance will be the responsibility of the homeowners association, assessment district, or other non-public means. Dedication of trail easements shall occur as part of the master subdivision process, or through other appropriate discretionary permits. Grading will only be permitted within the open space network as necessary to accommodate trails. Trail construction will be phased with the first stage of development to ensure adequate trail access is maintained. Enhancement of wildlife habitat and natural drainages through revegetation is encouraged subject to City approval, especially within the wildlife corridor area at the western edge of the planning area. A detail of the planned wildlife corridor is shown on Figure 10. The portion of this corridor within the Plan area is to be left in a natural state. Opportunities to enhance the cover and habitat value of the corridor should be explored through enhancement of the two drainage courses flowing through the wildlife corridor area, and through a revegetation program emphasizing the use of diverse native plant species that provide screening and mimic the existing local natural communities.

Permitted Uses

- a. Public trails and ancillary improvements such as benches.
- b. Enhancement of wildlife habitat, as approved by the Planning Department.
- c. Fencing if determined appropriate by the Planning and Park and Recreation Departments.

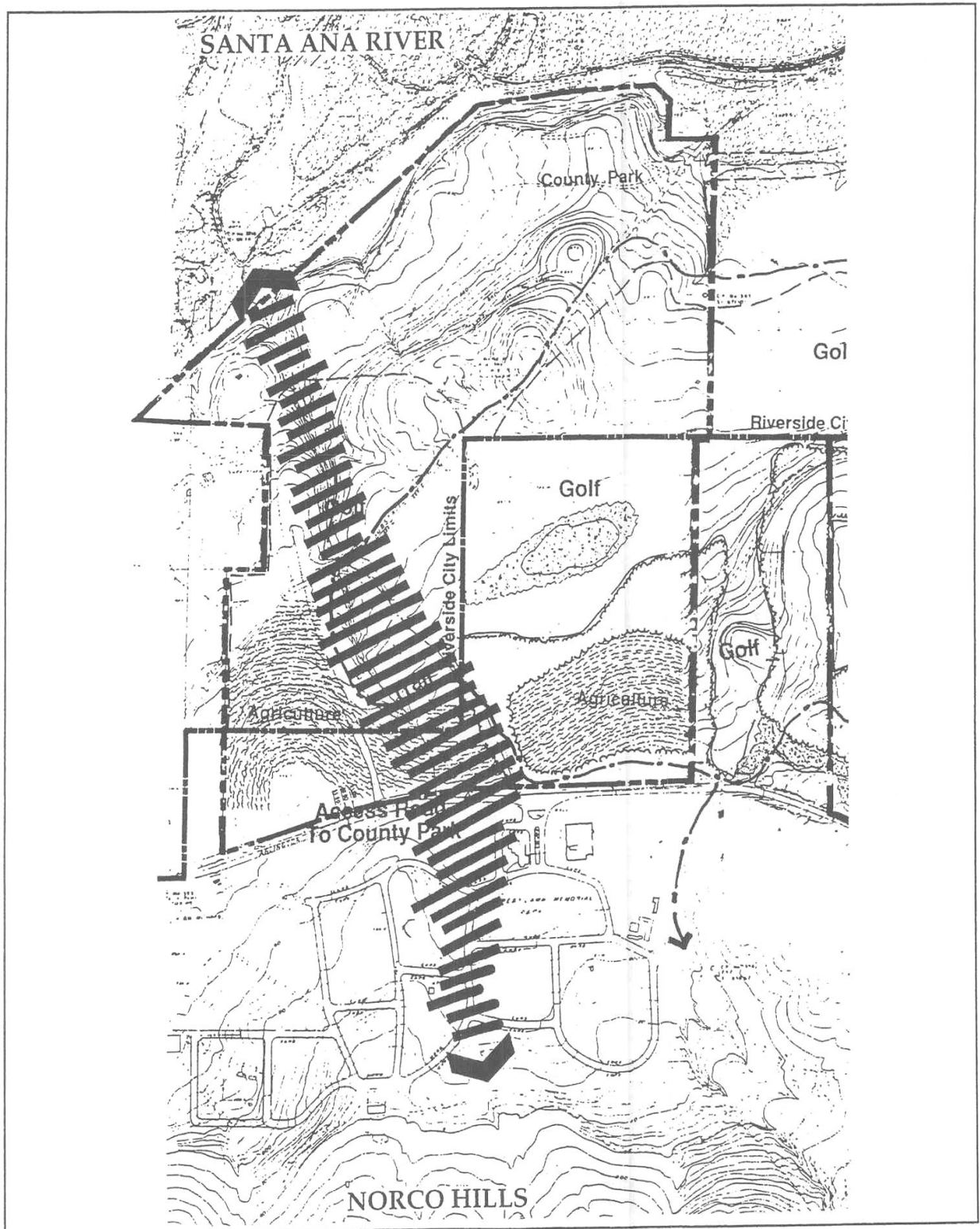
Development Standards

- a. The Santa Ana Bikeway segment shall be developed in accordance with the standards of City Public Works Department, in consultation with the Riverside County Parks and Open Space District.
- b. All other trails shall be developed in accordance with the standards required by the City of Riverside Parks and Recreation Department, in accordance with the design guidelines identified below.



CONCEPTUAL TRAIL NETWORK

FIGURE 9
Not to Scale





WILDLIFE CORRIDOR



Not to Scale

FIGURE 10

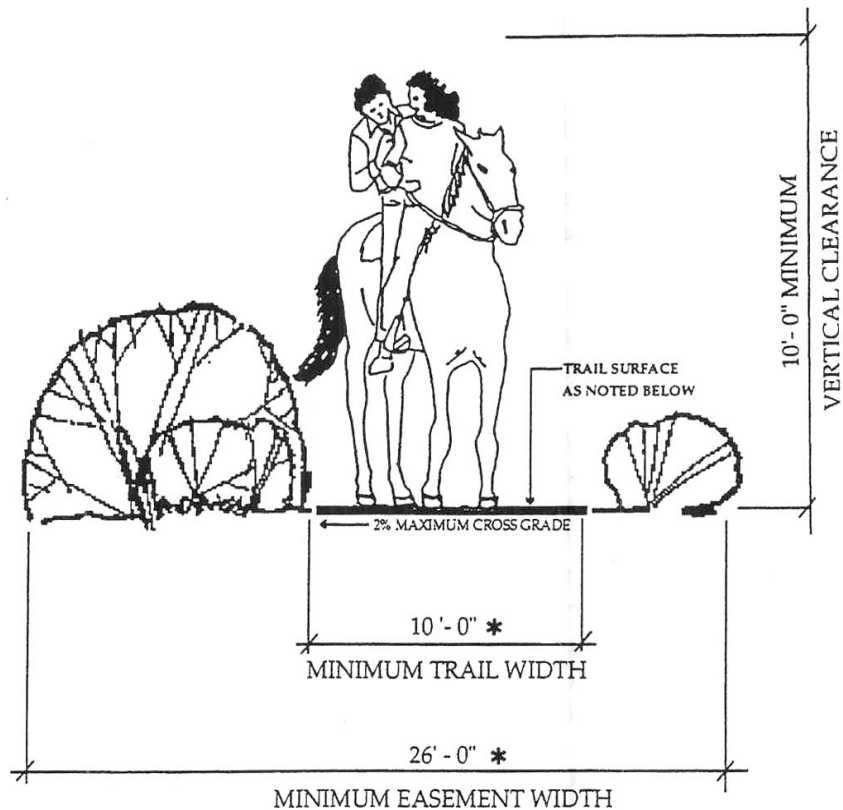
- c. A 100-foot wide buffer zone shall be established along both sides of the drainage within the wildlife corridor area. Trails or agricultural uses may be permitted within the buffer area only if integrated as part of a wildlife enhancement program prepared by a qualified wildlife biologist and approved by the Planning Department. In addition, appropriate screening with native plant species is recommended as specified in the design guidelines below.

Design Guidelines

- a. Trail alignments, sizes, surfacing, signs, plantings, etc. shall conform to the Rural Trail specifications established by the City of Riverside Parks and Recreation Department. A typical trail section meeting those specifications is presented in Figure 11. The typical detail for trail crossings of roadways is presented in Figure 12.
- b. Fencing, if permitted by the Planning and Parks and Recreation Departments, shall be open in design to allow for wildlife movement and shall conform to the Rural Trail specifications established by the City of Riverside Parks and Recreation Department.
- c. Trail design in areas following natural drainages shall be prepared in consultation with the California Department of Fish and Game. First priority will be given to placing trails alongside, rather than within the drainages, to avoid loss of vegetation and direct disturbance of wildlife habitat. If this cannot be accomplished, a geological evaluation of the larger, deeper drainage courses shall be performed to determine the stability of the stream banks and to evaluate the risks/costs associated with widening and stabilizing the stream bottom to trail specifications. If alterations of these streambeds cannot be avoided, permits shall be obtained pursuant to Section 1603 of the State Fish and Game Code and Section 404 of the Clean Water Act.
- d. Trail alignments near or within the golf course shall avoid crossing golf course fairways, be placed behind tee areas, and sited to maximize distances from fairways. If trails are directly exposed to errant golf balls, protective barriers shall be provided that are open, rather than solid, to maintain the open space character of the trails and golf course. Signs shall be posted on the golf course, where appropriate, to warn golfers that a recreational trail and hikers/equestrians may be nearby.
- e. The wildlife corridor shall take into account planned adjacent agricultural uses.
- f. A suggested list of appropriate plant species to be used in the wildlife corridor is provided below.

Plant Species for Use in Wildlife Corridor

Trees (Upland)	California juniper (<i>Juniperus californica</i>) Coast live oak (<i>Quercus agrifolia</i>) Walnut (<i>Juglans californica</i>)
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TRAIL SURFACING: Verify soil expansiveness with a soil test performed by a certified laboratory approved by the City of Riverside.

Non-expansive Soil: Scarify tread areas to a depth of 6" removing rocks, clods, and undesirable materials. Fine grade and compact native soil to a 90% relative compaction.

Expansive Soil: Remove soil to a depth prescribed by the soils report. Remove all remaining rocks, clods, and undesirable materials from the exposed soil base. Evenly spread a minimum of 3 1/2 inches of decomposed granite contained by 2x4 redwood header on each side of trail tread.

* Trails less than 10' wide and easements less than 26' wide permitted in hillside situations subject to Park & Recreation Dept review and approval.

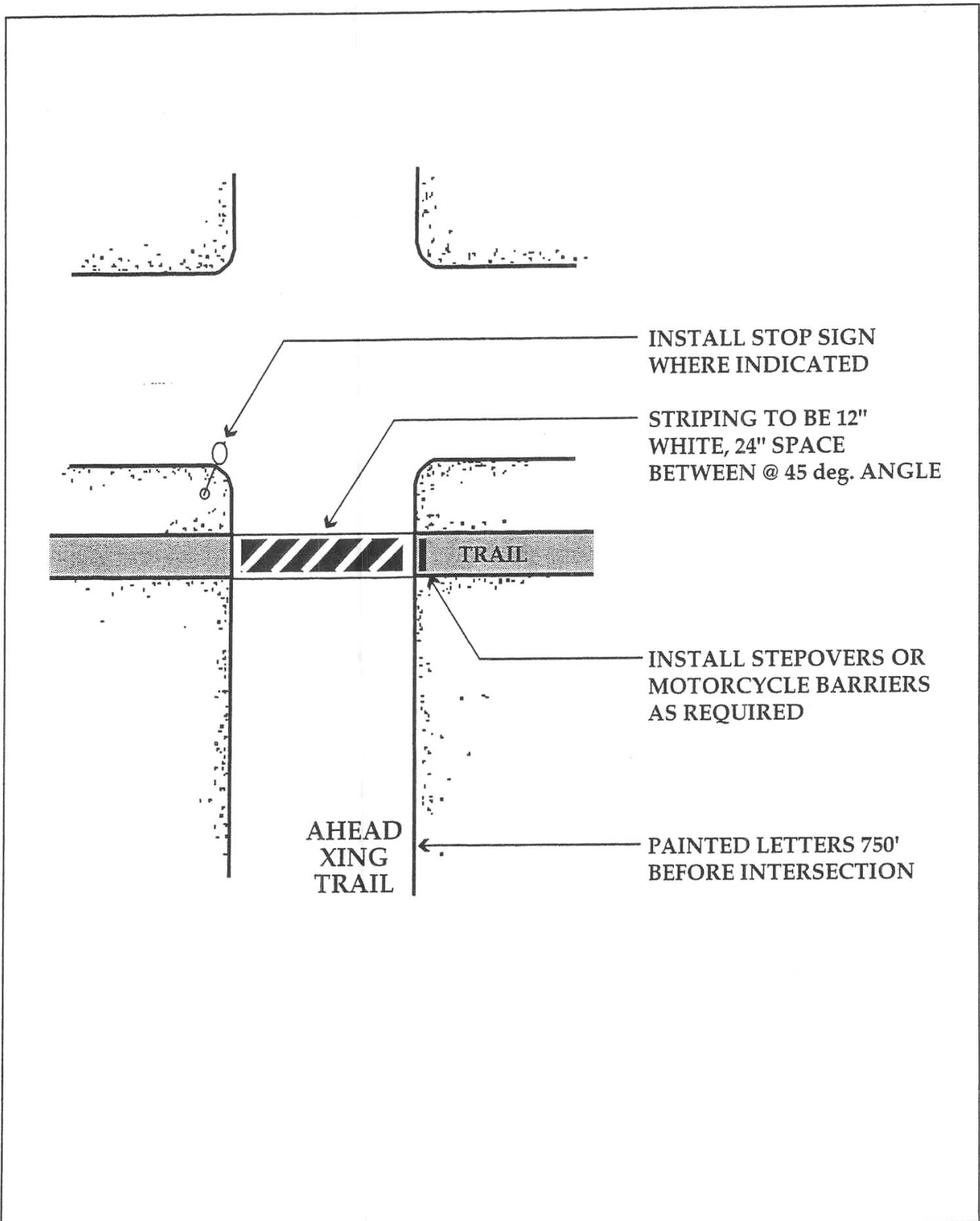


TYPICAL FEEDER TRAIL SECTION

NOT TO SCALE

FIGURE

11



STANDARD FOR TRAIL CROSSING AT ROADWAY INTERSECTION

NOT TO SCALE

FIGURE 12

Trees (Mesic)	Mule fat (<i>Baccharis salicifolia</i>)
	Arroyo willow (<i>Salix lasiolepis</i>)
	Elderberry (<i>Sambucus mexicana</i>)
Trees (Wetland)	Cottonwood (<i>Populus fremontii</i>)
	Black willow (<i>Salix gooddingii</i>)
	Red willow (<i>Salix laevitata</i>)
	Sandbar willow (<i>Salix exigua</i>)
Shrubs	Beaver-tail cactus (<i>Opuntia basilaris</i>)
	Black sage (<i>Salvia mellifera</i>)
	Brittlebush (<i>Encelia farinosa</i>)
	California blackberry (<i>Rubus ursinus</i>)
	California buckwheat (<i>Eriogonum fasciculatum</i>)
	California sagebrush (<i>Artemisia californica</i>)
	California wild rose (<i>Rosa californica</i>)
	Elderberry (<i>Sambucus mexicana</i>)
	Fuchsia-flowered gooseberry (<i>Ribes speciosum</i>)
	Giant rye (<i>Leymus condensatus</i>)
	Laurel sumac (<i>Malosma laurina</i>)
	Toyon (<i>Heteromeles arbutifolia</i>)
	White sage (<i>Salvia apiana</i>)
Herbs	Bedstraw (<i>Galium aparine</i>)
	Blue daisy (<i>Dichelostemma pulchella</i>)
	California poppy (<i>Eschscholtzia californica</i>)
	Chia (<i>Salvia columbariae</i>)
	Eucrypta (<i>Eucrypta chrysanthemifolia</i>)
	Phacelia (<i>Phacelia ramosissima</i>)
	Tidy tips (<i>Layia platyglossa</i>)
	Whispering bells (<i>Emmenanthe penduliflora</i>)

Constructed Wetlands/Lakes/Arroyos

This Plan designates approximately 65.5 acres within the golf course as constructed wetlands, lakes, restored/enhanced arroyos. These designated areas serve a variety of purposes, including water treatment and storage capacity, filtering of stormwater runoff, and wildlife habitat.

Permitted Uses

Not applicable to this designation.

Development Standards

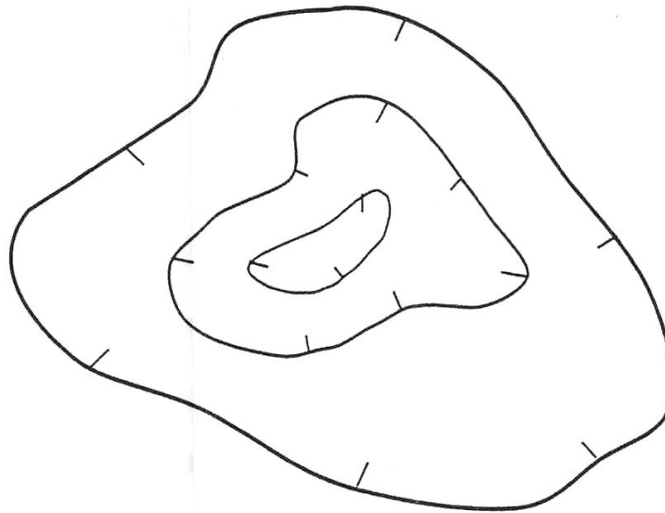
Not applicable to this designation.

Design Guidelines

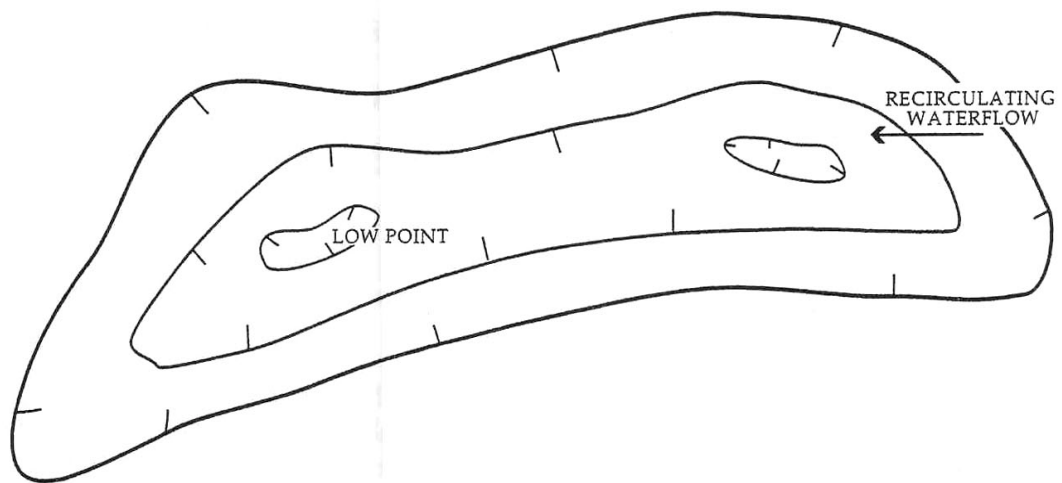
Proposals for developing constructed wetlands shall satisfy the following criteria:

- a. A detailed plan shall be prepared by a team that includes a wetlands biologist, in consultation with the California Department of Fish and Game. The plan shall include:
 - ! a statement of goals
 - ! provisions for invasive plant control
 - ! specifications for the size, shape and depth of the wetland area
 - ! a planting scheme composed of appropriate native species
 - ! specifications for the hydrological regime including temporary and permanent water sources
 - ! an initial and ongoing monitoring program with specific performance standards
 - ! provisions for erosion control
 - ! a reporting process to the California Department of Fish and Game (CDFG) to assist in their efforts to improve the quality of constructed wetland projects
- b. A variety of soil moisture regimes shall be incorporated into each wetland design. This can be achieved through an irregular, rolling topographic profile (see Figure 13). Side slopes (banks) should be low gradient to maximize water retention available for vegetation. Water sources may include site runoff, treated effluent from the City's Water Quality Control Plant or water pumped up from the Santa Ana River.
- c. Wetland plans shall be based, in part, on the results of a soils analysis to ensure that the percolation rates or soil texture are compatible with the creation of a sustainable wetland environment.

1. POND CONFIGURATION



2. STREAMCOURSE CONFIGURATION



IRREGULAR WETLAND PROFILES

NOT TO SCALE

FIGURE

13

- d. Native plant species shall be selected on the basis of what is appropriate for the particular soil/moisture regime involved (see Figure 14). Species requiring the most soil moisture shall be planted in the bottom or wetland zone, which includes the perennially wet areas and their edges. Species requiring a high soil moisture level without saturation shall be planted in the intermediate or mesic scrub zone. Within the transitional zone between the wetlands and uplands, scrub species requiring less mesic soils shall be planted. Plant stock shall be procured from a local nursery that has propagated plants from local native materials. Live cuttings should be taken from plants found in the Santa Ana River wash or from riparian vegetation found within Rancho La Sierra.
- e. Planting should occur in the late fall (November-December) to take advantage of the winter rains to improve chances for plant establishment. Planting may also occur during the winter as late as February, but no later. Density of plantings shall be determined during final design of the constructed wetland.
- f. The choice of plants shall avoid invasive species such as the following:
 - Castor Bean (*Ricinus communis*)
 - Giant Reed (*Arundo donax*)
 - Tamarisk (*Tamarix* spp.)
 - Pampasgrass (*Cortaderia* spp.)

A suggested list of native plants that have been found to be successful in the development of constructed wetlands is provided below.

Suggested List of Wetland Species

<u>ZONE</u>	<u>SPECIES</u>
Wetland	Arroyo willow (<i>Salix lasiolepis</i>) Black willow (<i>Salix gooddingii</i>) Bulrush (<i>Scirpus</i> spp.) Cattails (<i>Typha latifolia</i> , <i>dominguensis</i>) Marsh-fleabane (<i>Pluchea purpurascens</i>) Monkeyflower (<i>Mimulus guttatus</i>) Mule fat (<i>Baccharis salicifolia</i>) Red willow (<i>Salix laevigata</i>) Sandbar willow (<i>Salix exigua</i>)
Mesic Scrub	Baccharis (<i>Baccharis emoryi</i>) Barberry (<i>Berberis pinnata</i>) California Blackberry (<i>Rubus ursinus</i>) California wild rose (<i>Rosa californica</i>) Elderberry (<i>Sambucus mexicana</i>) Leather root (<i>Hoita macrostachya</i>) Mugwort (<i>Artemisia douglasii</i>)

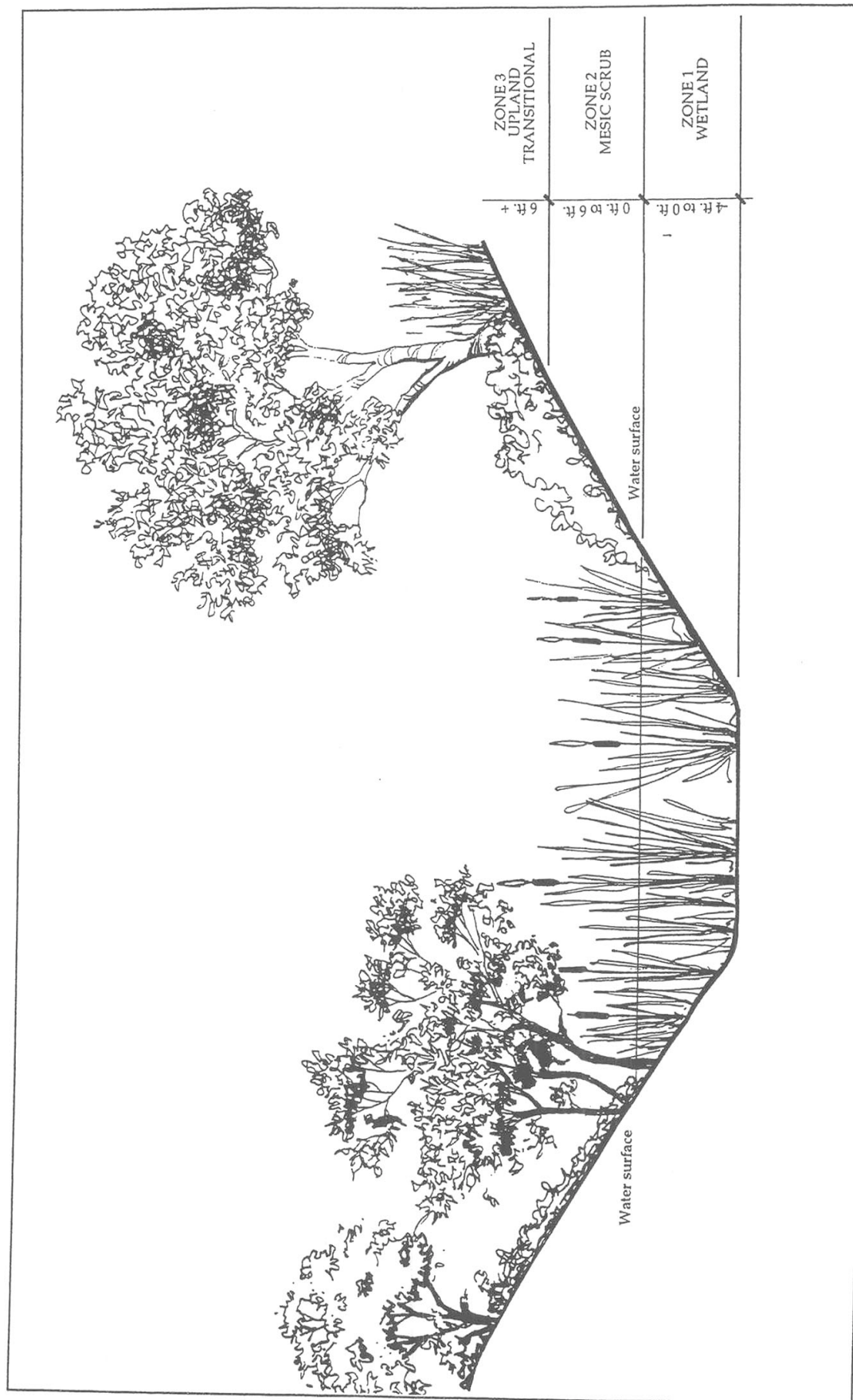


FIGURE 14
NOT TO SCALE

CONSTRUCTED WETLAND TYPICAL CROSS SECTION

Transitional	Nettles (<i>Urtica holosericea</i>)
	Rye (<i>Elymus glaucus</i>)
	Sycamore (<i>Platanus racemosa</i>)
	Walnut (<i>Juglans californica</i>)
	Coast live oak (<i>Quercus agrifolia</i>)
	Fuchsia-flowered gooseberry (<i>Ribes speciosum</i>)
	Giant rye (<i>Leymus condensatus</i>)
	Laurel sumac (<i>Malosma laurina</i>)
	Scrub oak (<i>Quercus dumosa</i>)
	Toyon (<i>Heteromeles arbutifolia</i>)

Agriculture

Approximately 26.5 acres at the westerly end of the site are permanently reserved for future, privately established and maintained agricultural operations. It is anticipated row crop farming, a vineyard, or plant nurseries operated by small commercial interests could be accommodated. The provision of agriculture would provide a distinctive entry into the project and the City, and also be consistent with the provisions of Measure C.

Permitted Uses

Agricultural uses, limited to crop production, horticulture, wholesale or retail nurseries and similar plant-oriented agricultural activities. The keeping of animals is prohibited.

Development Standards

- a. As established for the RA-5 Zone and set forth in Chapter 19.08 of the Municipal Code.
- b. Provide water for the ongoing agricultural use of the designated properties.

Design Guidelines

- a. The agricultural use of this property shall be consistent with the intent of this Plan to provide a scenic, distinctive gateway into the City of Riverside and the project.
- b. Any accessory buildings proposed in conjunction with the agricultural operations of the site shall be located so as to have minimal visibility from Arlington Avenue, subject to review and approval by the Planning Department.
- c. The agricultural areas as they abut the wildlife corridor shall be utilized in a manner that is compatible with and enhances the functioning of the wildlife corridor.

Community Facilities

This land use designation applies to the various community-oriented facilities proposed in the Plan. These include an elementary school site, a community park, and a neighborhood equestrian center; their locations are shown on Figure 3. While the locations are considered "fixed" within the Plan area, the precise boundaries and sizes of each site will be determined when master subdivision maps are processed (see Chapter V Implementation Measures). Permitted and prohibited land uses, development standards, and design considerations are discussed below for each facility.

Elementary School

A 10 acre site has been designated for development of an elementary school, near the southeastern edge of the Plan area. This site will become the property of the Alvord Unified School District, and the design and development of the planned school will be under the District's control. The City will actively participate in the District's site planning process. The timing or means for conveying the property to Alvord Unified School District has not yet been determined. This will be addressed under the master subdivision process, which will also determine the precise limits of this facility. As discussed further under Chapter V (Implementation Measures), the provisions of the RA-5 Zone and Measure C do not permit school uses. Development of a school at this location will require Alvord Unified School District to make findings pursuant to Section 53094 of the California Government Code.

Permitted Uses

Public Elementary School.

Development Standards

Prior to transfer of the land to Alvord Unified School District, a deed restriction shall be recorded on the property requiring that any future development on the parcel:

- a. maintain a 20 foot building setback from all property lines.
- b. be subject to Design Review Board review and approval.

Design Guidelines

Consider joint use opportunities with the adjacent community park area in the design and operation of the playground area.

Community Park

An active, 15 acre community park is envisioned at the southeastern edge of the Plan area, along Tyler Street and the project's easterly public entry street. The precise limits of this facility shall be defined as part of the master subdivision process for the project, as

explained in Chapter V of this Plan. The park at buildout is planned to be developed with lighted ballfields and other active recreational facilities in order to meet unmet community needs for such facilities. Park design and development is the responsibility of the City's Parks and Recreation Department. How or when the property planned for the community park will be conveyed to the City has not yet been determined. This will be addressed under the master subdivision process.

Permitted Uses

Public recreational uses established pursuant to the conditional use permit process outlined in Section 19.64 of the Riverside Municipal Code.

Development Standards

To be developed pursuant to the conditional use permit process outlined in Section 19.64 of the Riverside Municipal Code.

Design Guidelines

- a. The park design shall include lighted ballfields and other active recreational facilities.
- b. Consider joint use opportunities with the adjacent elementary school playground area in the selection and design of activity areas.
- c. Park design shall take into consideration the recreational needs of the broader Arlanza-La Sierra community.
- d. Manufactured slopes created in conjunction with park grading shall not be steeper than 5:1.
- e. Finished grading of the park site shall not exceed 4% average grade across the site.
- f. Lighting impacts on neighboring residences shall be minimized.
- g. Access to parking shall be provided from Tyler Street. No driveway openings shall be permitted on Eureka Drive.

Neighborhood Equestrian Center

An approximately 5.5 acre site, located northerly of the intersection of Valley Drive and Jones Avenue, is designated for a neighborhood equestrian center. This public facility is envisioned to consist of a full-size riding arena (approximately 150' x 300'), hitching rails and limited vehicle parking. Vehicular access will be provided from Jones Avenue. The facility is intended to serve local neighborhood needs, and not to function as a regional facility generating substantial vehicular traffic or accommodating numerous horse trailers. The timing of and responsibilities for equestrian center construction will be determined under the master subdivision process.

Permitted Uses

To be defined pursuant to the conditional use permit process established in Section 19.64 of the Riverside Municipal Code.

Development Standards

- a. Public access to and public use of the equestrian center shall be permitted.
- b. Other standards will be developed pursuant to the conditional use permit process established in Section 19.64 of the Riverside Municipal Code.

Design Guidelines

- a. The final design shall include a full-size riding arena (approximately 150' x 300'), hitching rails and limited vehicle parking.
- b. The design shall encourage local use and discourage intensive trailer use.
- c. Drinking water and restroom facilities shall be provided.

Other Specific Plan Design Guidelines

During the planning process, a number of design criteria were established to assist future site specific development proposals in achieving the planning objectives adopted for this Plan. Many of these criteria were identified in the previous sections as they pertain to specific land uses and incorporated in to the development standards/permitted uses and/or design guidelines for that particular land use designation. Other criteria apply to the project as a whole, and are not specific to particular land use designations. These criteria are identified in this section. All future development proposals, including subdivisions, grading plans, landscaping and irrigation plans, conditional use permits, or infrastructure plans, etc., shall adhere to these criteria.

Grading

The manner in which the existing landforms will be altered and reshaped to develop infrastructure, the golf course, recreational amenities and homesites will be critical to achieving the Plan's objectives to preserve the site's major landforms, blend developed sites 'softly' into adjoining natural terrain and optimize scenic view opportunities. In addition to the specific design guidelines previously identified under the land use designations, the following criteria are intended to ensure that future site grading is accomplished in a sensitive manner.

- a. All cut and fill slopes shall be planted with vegetation capable of achieving total coverage of the exposed slope face within two years. See landscaping design guidelines for planting requirements.
- b. When creating manufactured slopes, round tops and toes so that a smooth transition is made into adjoining natural topography. Incorporate undulating faces into all cut and fill slopes, and avoid sharp, angular transitions.
- c. Minimize the height and visibility of cut and fill slopes.
- d. Slopes created by grading shall blend with existing contours.
- e. Streets should be laid out to minimize grading, following the natural contours of the terrain, and to retain natural features such as drainages, knolls, and rock outcroppings. If roadways segments through hillsides cannot be avoided, the use of split streets is encouraged to reduce the amount and visual impact of roadway excavation.
- f. Where possible, natural drainage courses should be retained to carry surface water run-off. Man-made drainage structures should be designed to blend into the natural terrain through careful grading and the use of materials such as natural boulders as rip-rap for the lining of channels in place of concrete.
- g. Grading operations shall be phased so that prompt revegetation or construction will control erosion. Where possible, only those areas which will be built on, resurfaced,

or landscaped shall be graded. Topsoil shall be stockpiled during rough grading and used on cut and fill slopes, unless determined infeasible by the project soils engineer.

- h. Grading operations should be planned to avoid the rainy season (October 15 to April 15), if possible.
- I. Slopes within the public right of way or City-maintained landscape easement should not exceed a maximum grade of 3:1.
- j. No cut or fill slopes shall exceed 400 feet in length, except where required for public streets.
- k. Cross lot drainage shall be avoided, except to the direction and specifications of the Planning Department, and where the lots are kept in a natural condition and no grading occurs.

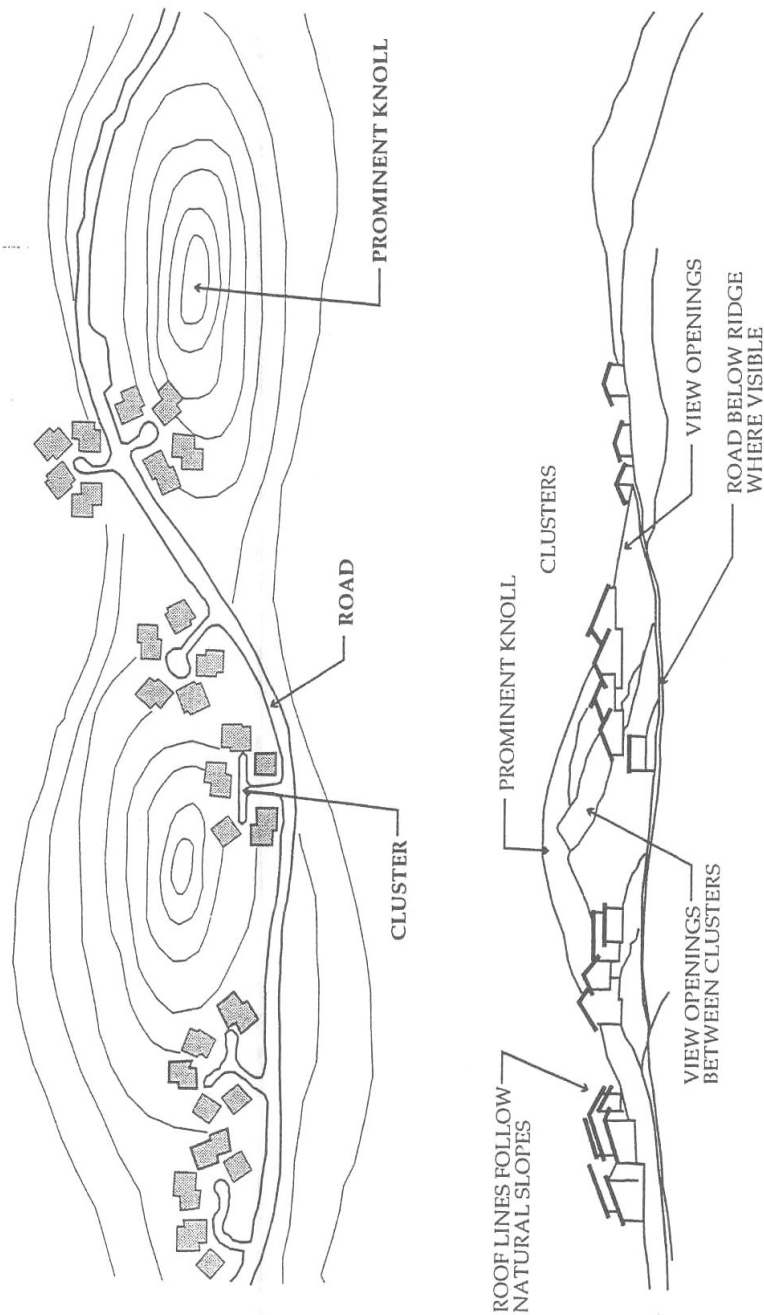
Illustrations of various grading techniques that are preferred, compared to those that are discouraged, are presented as Exhibits 15-20.

Landscaping

Creation and establishment of a low-density, pastoral community image and of complementary neighborhood identities will depend, to a significant extent, upon the composition and texture of the landscape elements. Furthermore, it is the goal of this Plan to ensure that the built environment and open space network within and surrounding the site are compatible from both an aesthetic and ecological perspective. Selection and distribution of appropriate landscape materials shall begin with these objectives in mind. Following are design criteria to be adhered to in the development of landscape plans at all levels, from master subdivision planning and community facilities to individual homesites.

- a. Landscaping and irrigation shall comply with the City's Water Efficient Landscaping and Irrigation Ordinance as set forth in Chapter 19.67 of the City of Riverside Municipal Code.
- b. Apply natural landform planting to soften manufactured slopes, reduce the impact of development on steep slopes and provide erosion control. This involves irregular planting masses that result in an undulating visual plane, as opposed to a uniform visual plane across the slope face.
- c. To minimize the grading of large, flat areas and encourage water conservation techniques, large expanses of low growing grass in residential front and side yards adjacent to a street are discouraged.
- d. Evaluate soils and existing plant cover to determine the types and extent of invasive plant species that would compete with turf or other managed landscaped areas, and identify means of eradicating these species from the soil base before revegetation occurs.

Projects should incorporate clustering, variable setbacks, multiple orientations, and other site planning techniques to preserve open spaces, protect natural features, and offer views to residents.



CLUSTERING OF BUILDING SITES



Edges left by cut and fill operations should be given a rounded appearance that closely resembles the natural contours of the land.

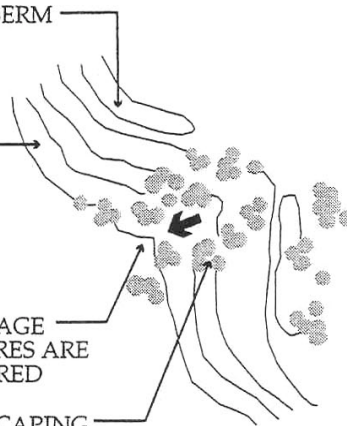
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SMALL IRREGULAR BERM
ACCENTUATES THE
TOP OF THE SLOPE

VARIETY IN
SLOPE BANK
GRADING CREATES
A NATURAL
APPEARANCE

DRAINAGE
FEATURES ARE
OBSURED

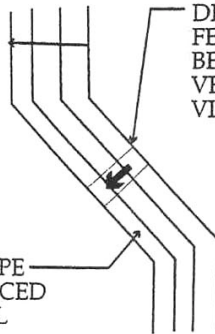
LANDSCAPING
ACCENTUATES
CONTOUR
UNDULATION



NOT THIS

DRAINAGE
FEATURE
BECOMES
VERY
VISIBLE

ENGINEERED SLOPE
BANKS LOOK FORCED
AND UNNATURAL



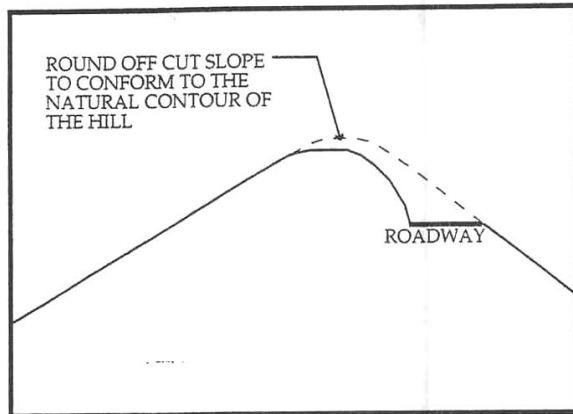
CONTOUR GRADING

NOT TO SCALE

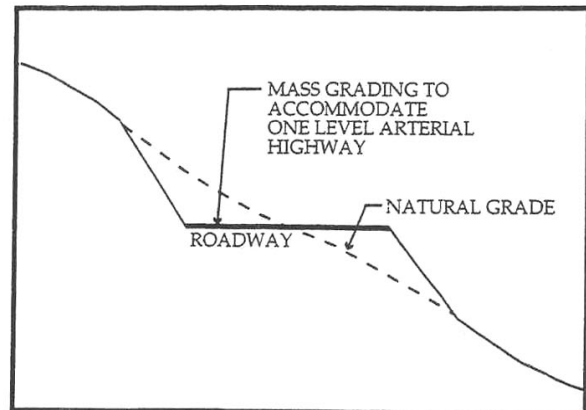
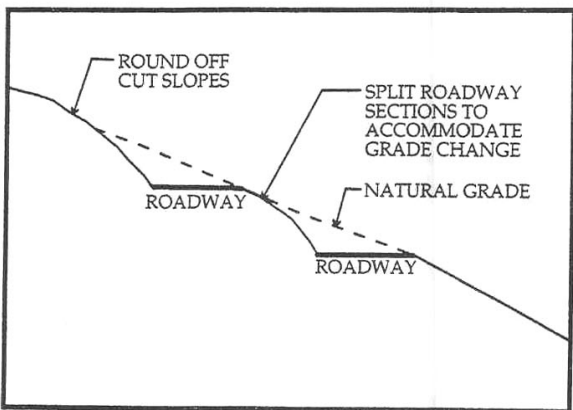
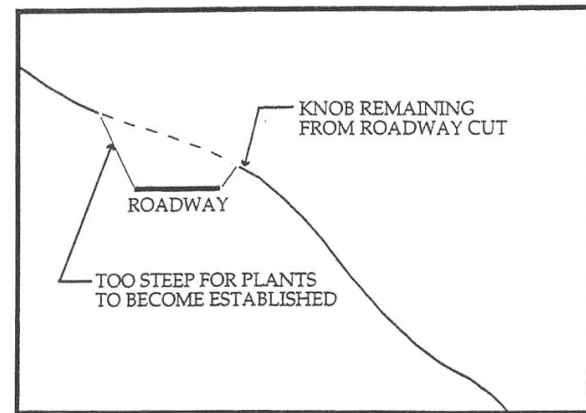
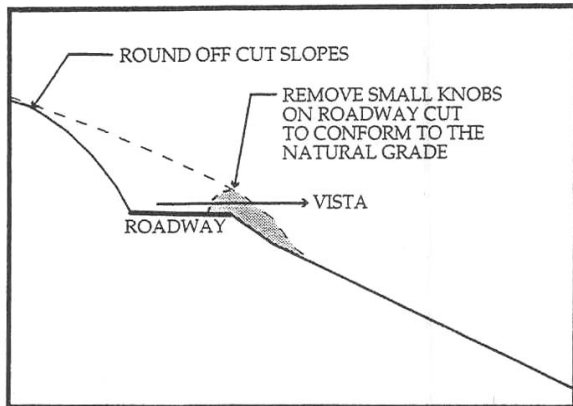
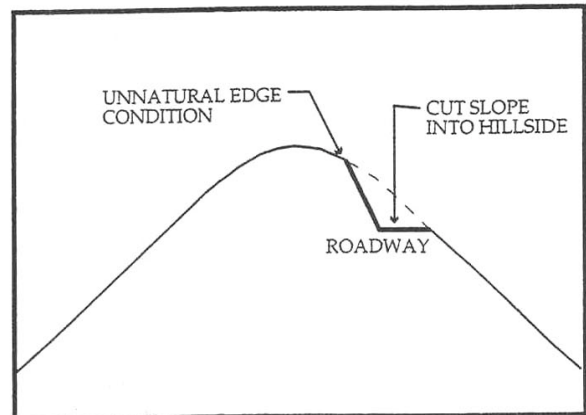
FIGURE

16

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NOT THIS



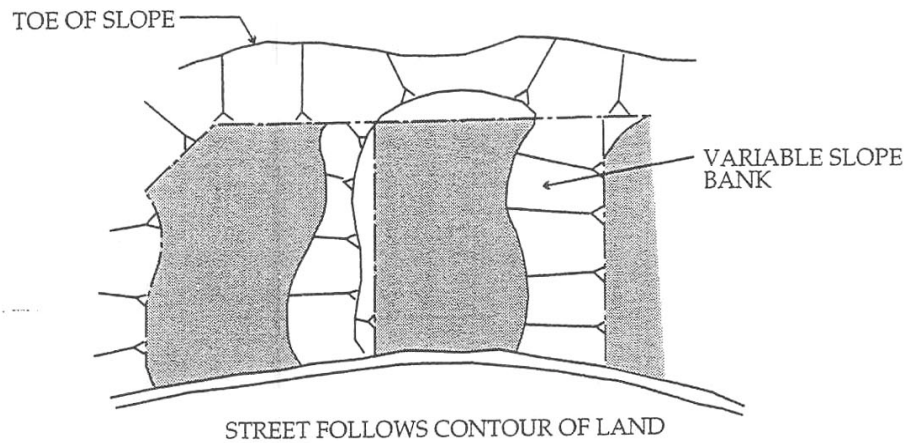
GRADING FOR ROADWAYS ON SLOPES

NOT TO SCALE

FIGURE

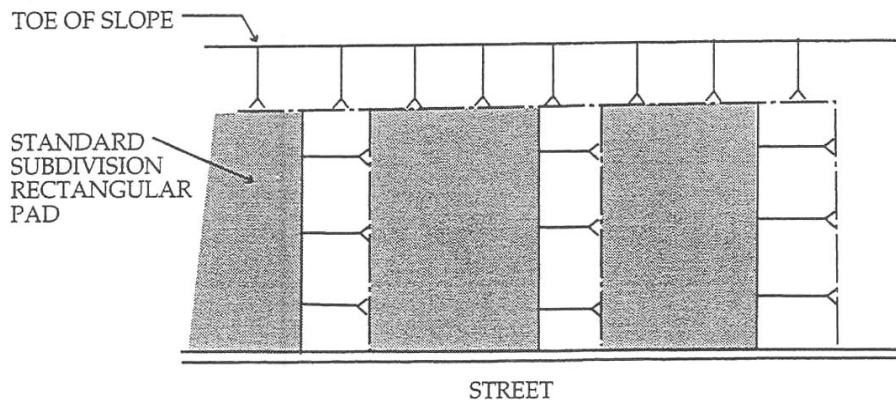
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Undulating slopes surrounding irregular pad configurations simulate natural hillside environment.

NOT THIS



Straight uniform slopes and pad configurations produce an unnatural, insensitive environment on hillsides.



BUILDING PAD CONFIGURATIONS

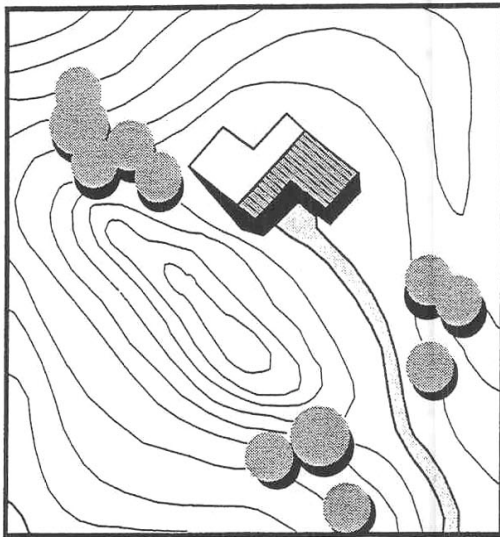
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FIGURE

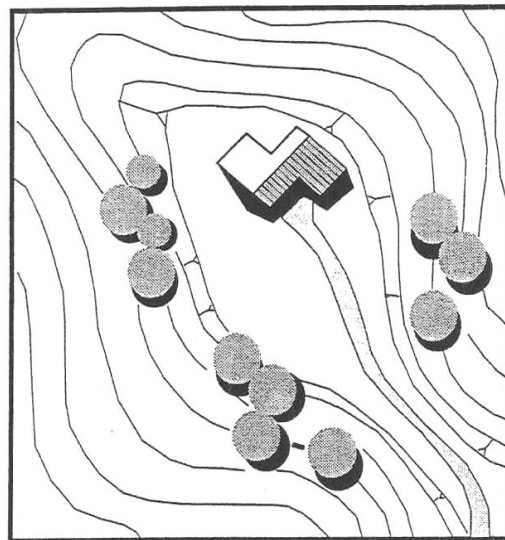
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Design of building sites should be sensitive to the natural terrain. Structures should be located in such a way as to minimize grading and to preserve natural features such as prominent knolls or ridgelines.

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NOT THIS



RESIDENTIAL SITE DESIGN

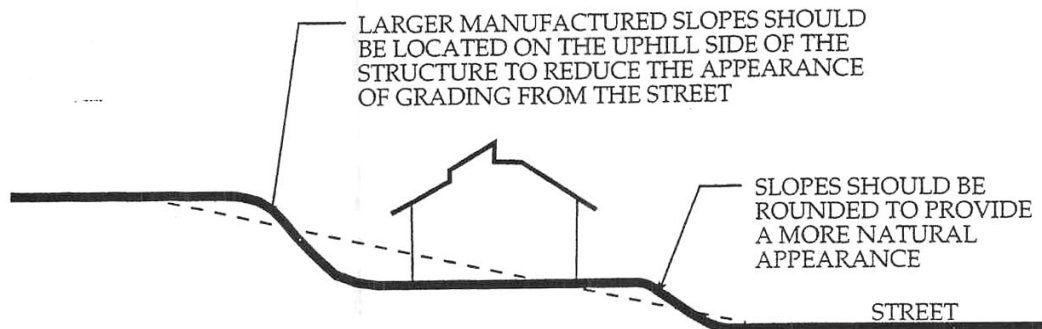
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FIGURE

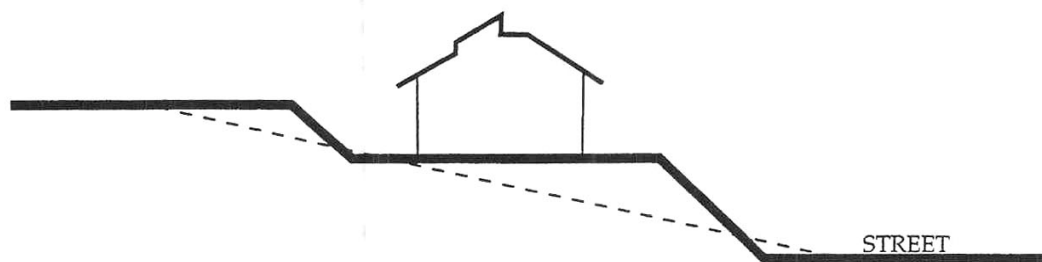
19

Where possible, graded areas should be designed with manufactured slopes located on the uphill side of structures, thereby hiding the slope behind the structure.

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NOT THIS



SCREENING MANUFACTURED SLOPES

NOT TO SCALE

FIGURE

20

- e. Landscaping near structures shall be designed to minimize fire hazards and the use of fire-retardant species is encouraged.
- f. Introduced landscaping within the residential areas shall contain variety, texture, and color, and blend with the surrounding natural landscape.
- g. Landscaping coverage and stabilization of graded slopes shall be selected and designed to be compatible with surrounding natural vegetation or to replace removed natural vegetation and should recognize climatic, soil and ecological characteristics of the Plan area. Plant materials that require excessive irrigation after becoming established shall be avoided. Native dry climate grasses and other xerophytic materials shall be selected wherever feasible.
- h. Landscaping plans for public spaces shall avoid the use of invasive or otherwise competitive plant species that could impact native plant communities elsewhere on site and in the Santa Ana River basin.
- I. A common landscape theme shall be incorporated into the public collector street specifications.
- j. Use pervious paving materials, wherever feasible, to reduce surface water runoff and to aid in groundwater recharge.

Signage

A comprehensive community sign program shall be subject to Planning Commission review and approval. The program shall specify the size, location and number of signs permitted within the Plan area, and take the following design considerations into account. Signs shall be limited to low, monument-style signs at the main entrances to the planning area and at the entrances to individual neighborhoods and the golf clubhouse. Any signs shall comply with the standards identified below.

- a. Low, monument-style signs should be utilized.
- b. Sign materials should be of heavy wood, brick or stone.
- c. Signage shall reflect the rural character of the Rancho La Sierra community.
- d. Ground-mounted, low intensity illumination of signs may be permitted.

Lighting

Outdoor lighting shall be subdued and of low intensity, to maintain a rural atmosphere and to avoid glare impacts into the sensitive wildlife area in the Santa Ana River basin. Specific standards are identified below.

- a. No outdoor lighting fixtures shall be located within 400 feet of the river bluff near the north boundary of the planning area.
- b. Outdoor lighting fixtures on residential sites shall be fully hooded and oriented to confine all illumination onto that residential site.
- c. Street lighting along public streets shall be in accordance with the standards set by the City of Riverside, Public Utilities Department. Illumination should be low intensity, to provide the minimum needed for safe driving and visibility of pedestrians. Thematic styling of poles and luminaires is encouraged to help establish a unique, rural community image for Rancho La Sierra.
- d. Street lighting shall be provided along private streets subject to Public Utilities Department specifications, utilizing thematic styling of poles and luminaires, compatible with the theme of the public street lighting. Illumination should be low intensity, to provide the minimum needed for safe driving and visibility of pedestrians. A single theme shall be maintained throughout the private street system, to provide for continuity of the community image.